

# Y Pwyllgor Cynllunio / Planning Committee

19/12/2023

Lle a Chynaliadwyedd - Y Gwasanaethau Cynllunio  
Place and Sustainability - Planning Services

Lle a Seilwaith | Place and Infrastructure

Cyngor **Sir Gâr**  
**Carmarthenshire**  
County Council



**Ceisiadau yr argymhellir  
eu bod yn cael eu  
cymeradwyo**

**Applications  
recommended for  
approval**

# PL/03279

Gary Glenister

**Lle a Chynaliadwyedd - Y Gwasanaethau Cynllunio**  
**Place and Sustainability - Planning Services**

Lle a Seilwaith | Place and Infrastructure

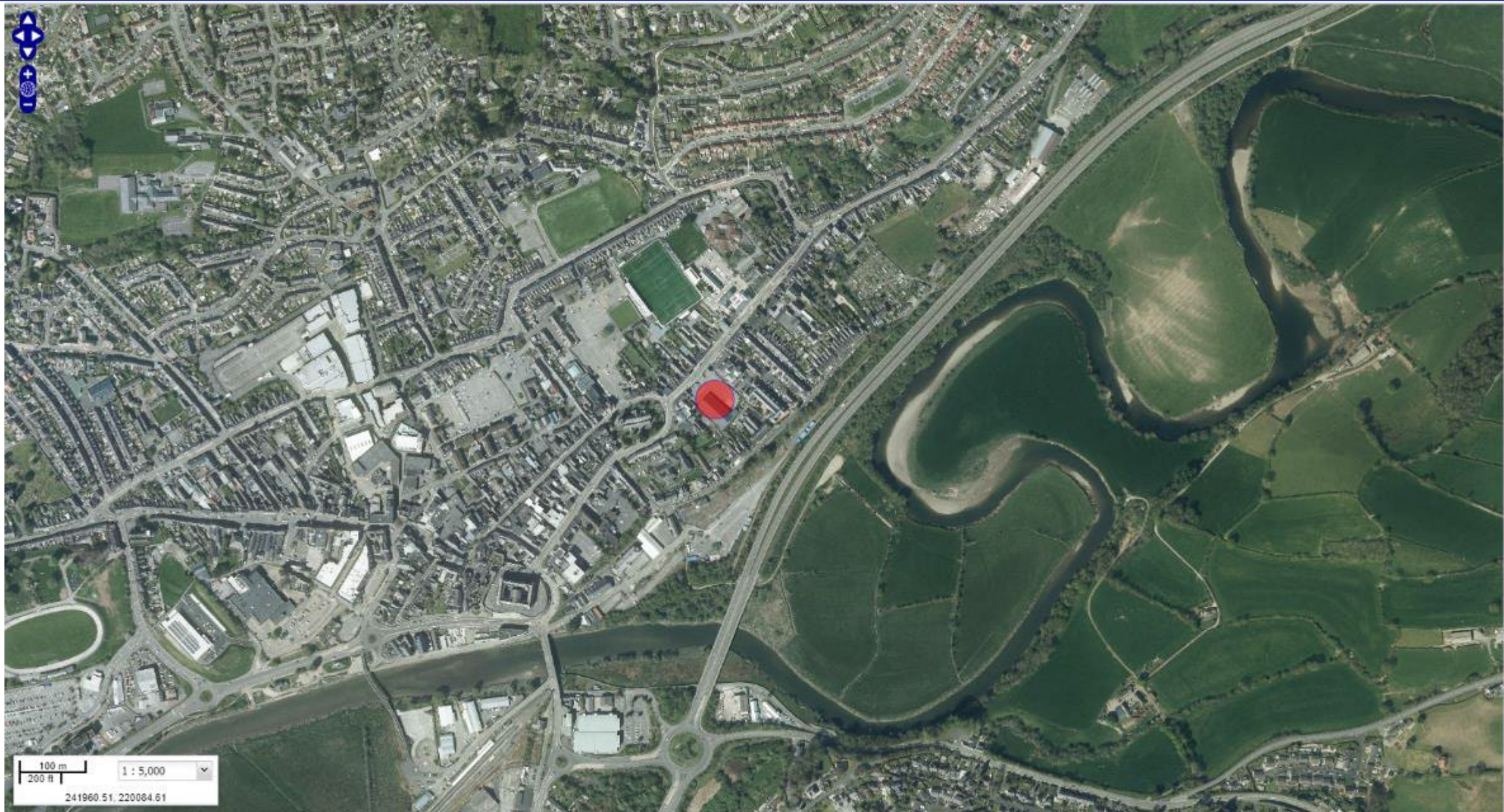
Cyngor **Sir Gâr**  
**Carmarthenshire**  
County Council



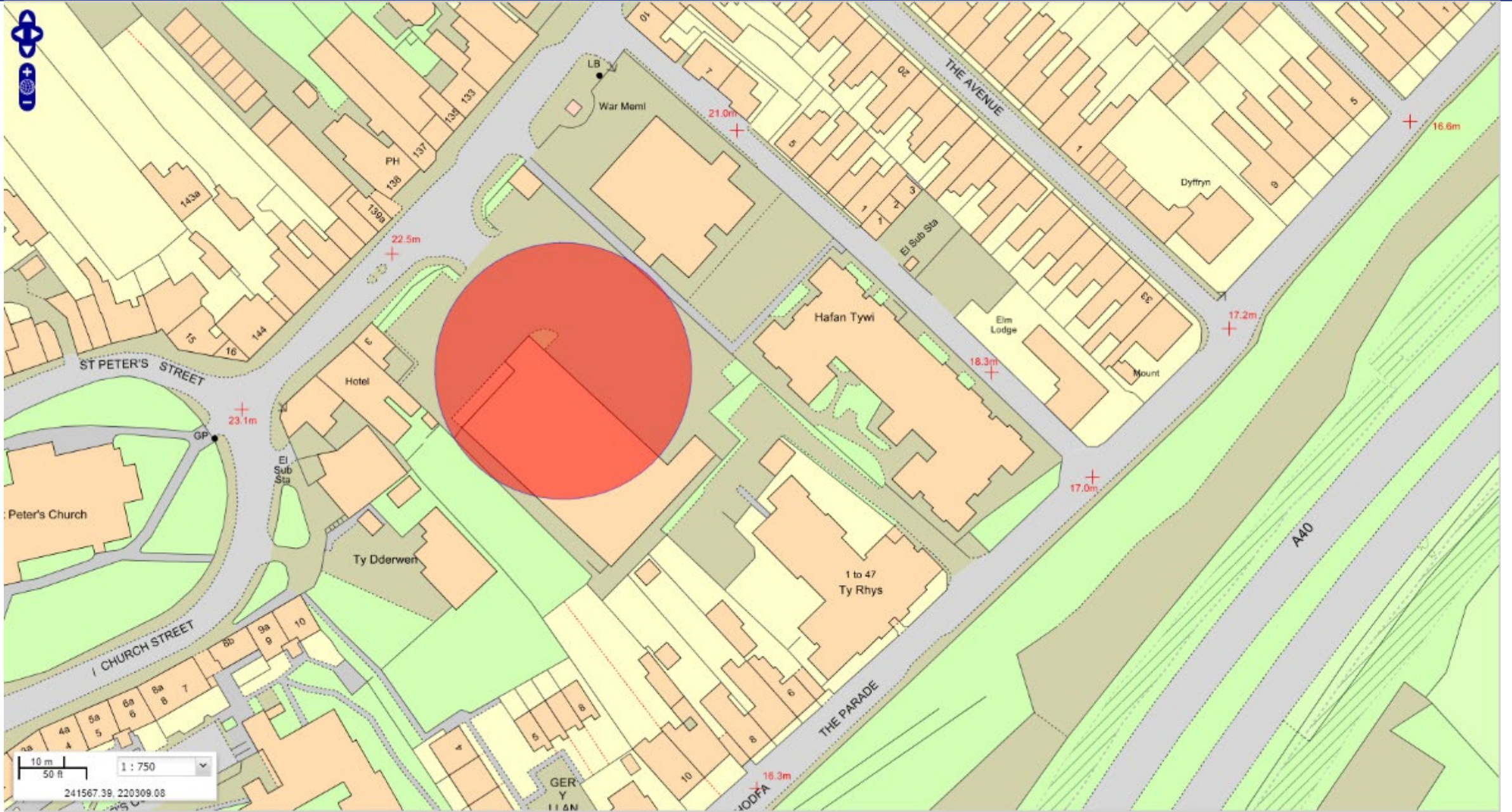






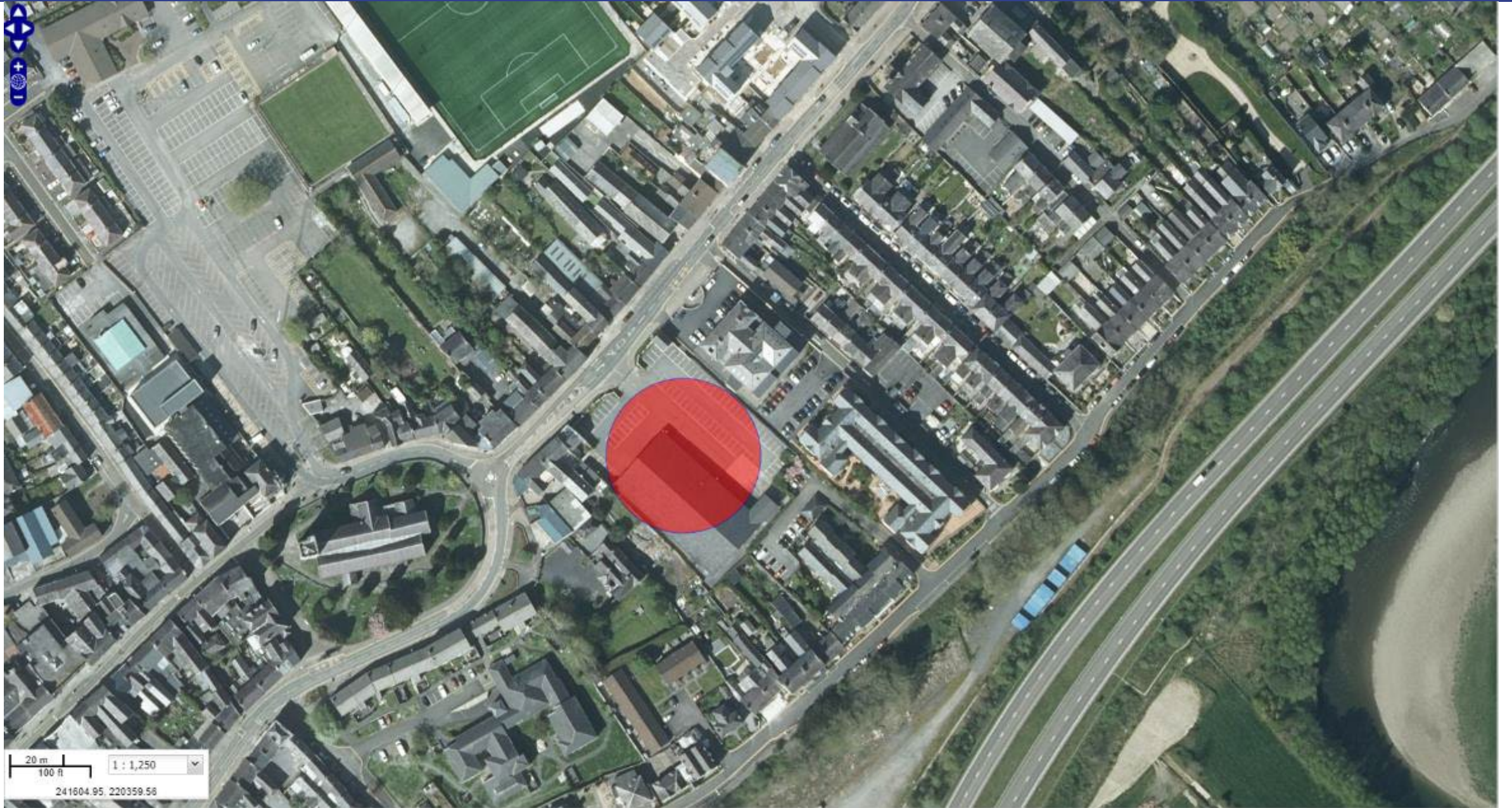




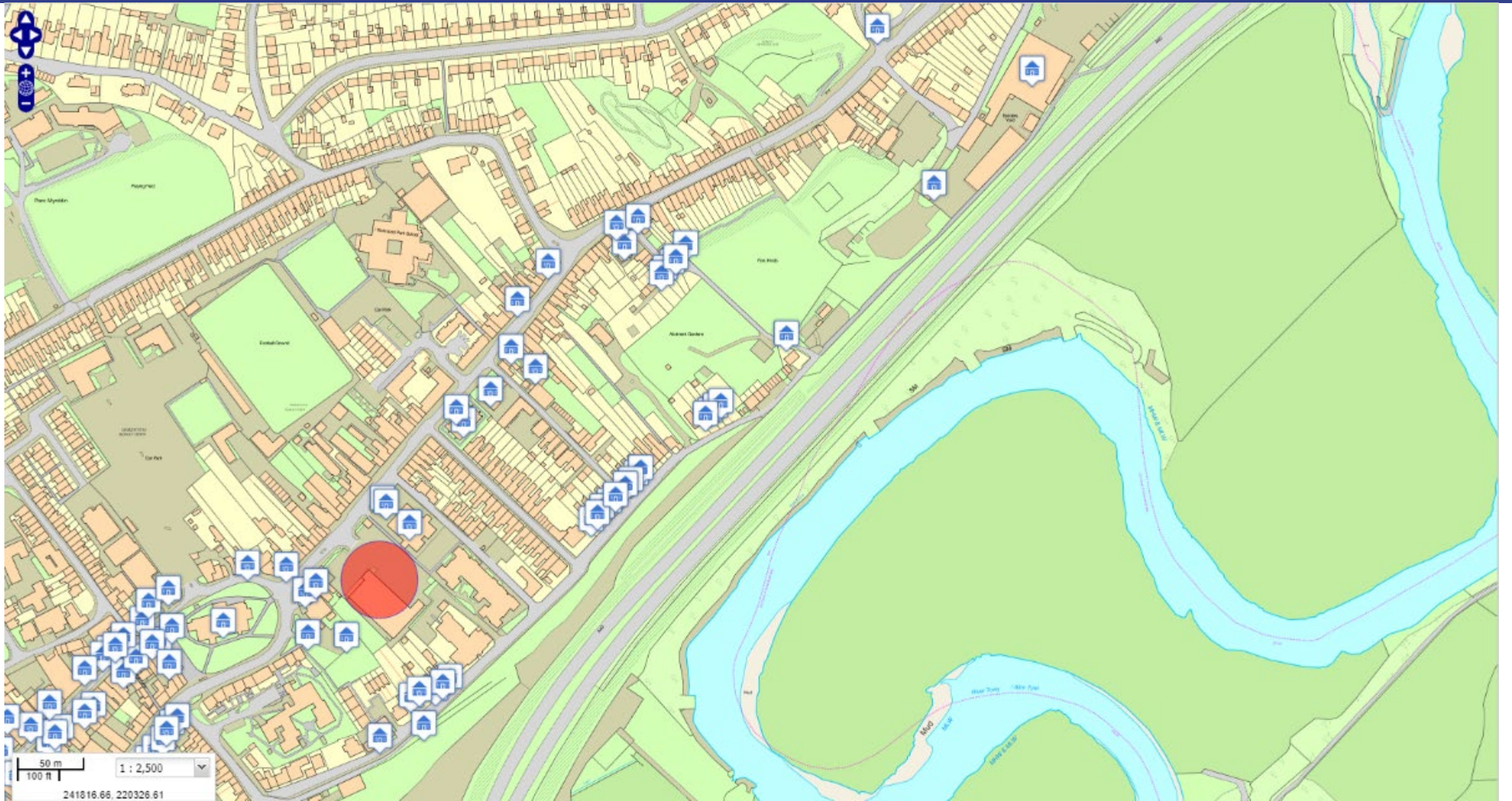




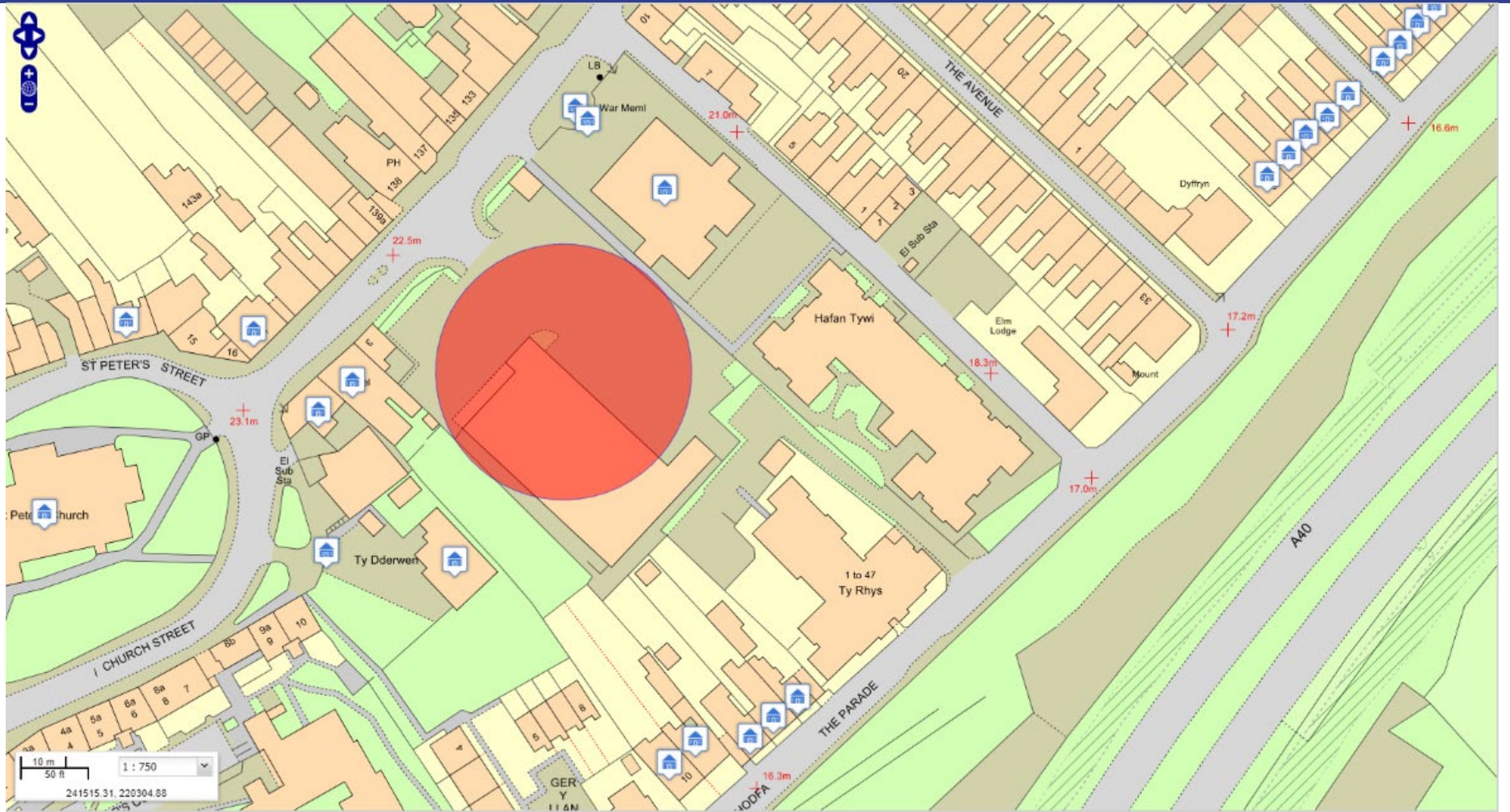
PL/03279



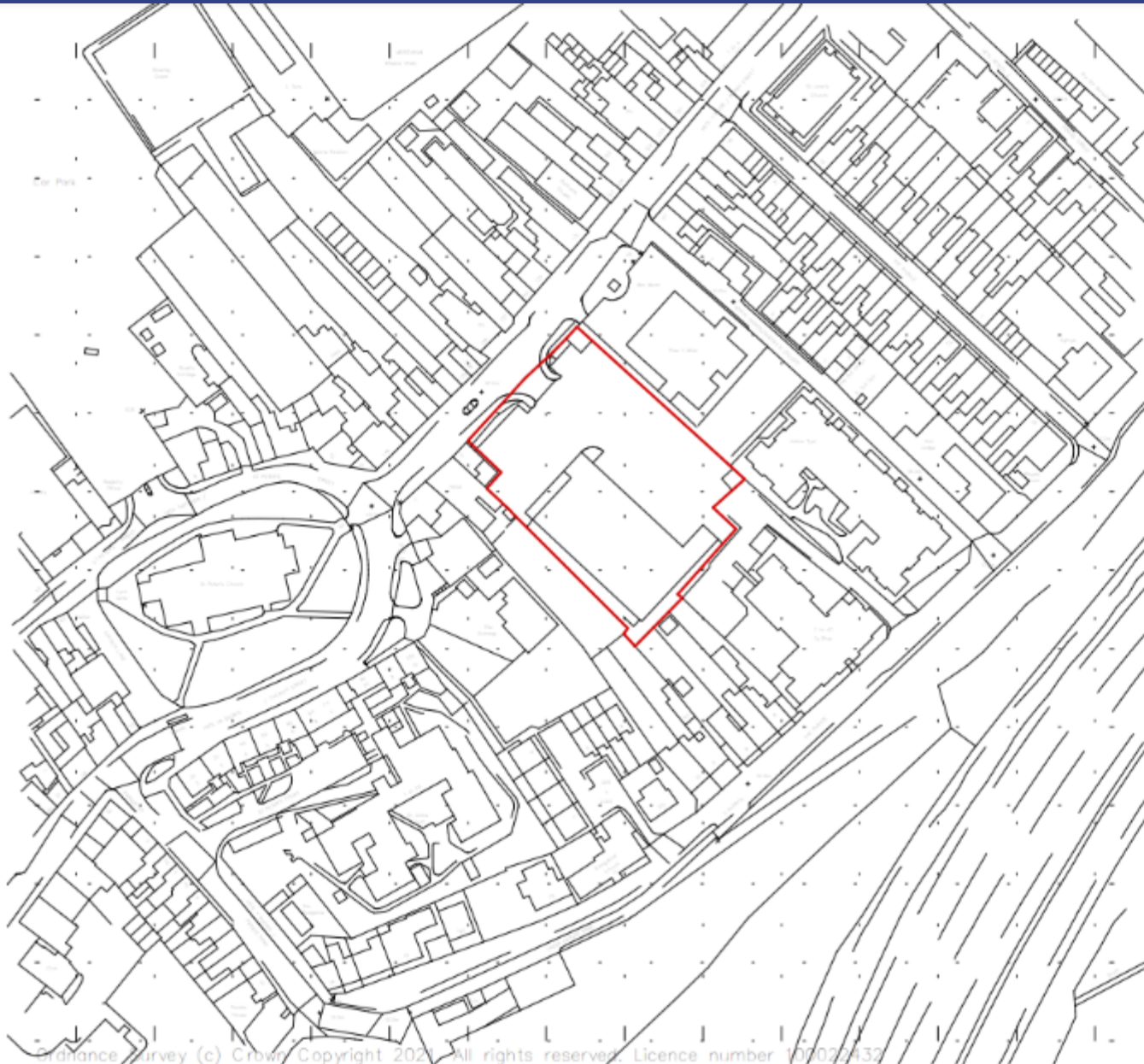












— denotes Site Boundary  
All site & ownership boundaries to be confirmed by client.

P3	Re-issued for Approval.	HJ	DT	20.12.21
P2	Issued for Approval	HJ	DT	15.12.21
P1	Preliminary issue.	DT	DT	14.10.21
Rev.	Description	Drawn	Check	Date

## FOR APPROVAL

**pentan**  
architects

22 Cathedral Road  
Cardiff CF11 9LJ  
T. 029 2030 9010  
info@pentan.co.uk

Project:  
Priority Street, Carmarthen

Client:  
WWHA

Drawing Title:  
Site Location Plan

Job no.	Obj.	Zone	Level	Type	File	Description	Status	Rev.
3995	PEN	ZZ	ZZ	DR	A	1000	S4	P3

Scale: 1 : 1250 @ A3 Date: Oct '21

**NOTES:** Do not scale. All dimensions are in millimetres unless stated otherwise









Building 1 Elevation A  
1/20



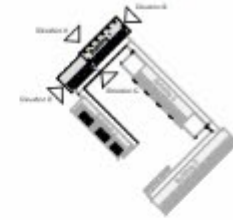
Building 1 Elevation B  
1/20



Building 1 Elevation C  
1/20



Building 1 Elevation D  
1/20



### Elevation Material Key

- Walls**
- Single/Full Brick (see page 11) (FC) in exterior finish with weathered stone joints. Natural colour.
  - Single/Full brick (see page 11) (FC) in exterior finish with smooth stone joints. Natural colour.
  - Single/Full brick (see page 11) (FC) in exterior finish with smooth stone joints. Natural colour.
  - Single/Full brick (see page 11) (FC) in exterior finish with smooth stone joints. Natural colour.
  - Single/Full brick (see page 11) (FC) in exterior finish with smooth stone joints. Natural colour.
  - Single/Full brick (see page 11) (FC) in exterior finish with smooth stone joints. Natural colour.
  - Single/Full brick (see page 11) (FC) in exterior finish with smooth stone joints. Natural colour.

- Windows and Doors**
- Timber window frames in Royal Wattle only. Colour: SW.
  - Aluminium window frames. Colour: SW.
  - Timber door frames in Royal Wattle only. Colour: SW.
  - Aluminium door frames. Colour: SW.
  - Timber door frames in Royal Wattle only. Colour: SW.
  - Aluminium door frames. Colour: SW.

- Roofs**
- Timber roof structure in Royal Wattle only. Colour: SW.
  - Aluminium roof structure. Colour: SW.
  - Timber roof structure in Royal Wattle only. Colour: SW.
  - Aluminium roof structure. Colour: SW.

- Roofs**
- Timber roof structure in Royal Wattle only. Colour: SW.
  - Aluminium roof structure. Colour: SW.

- Roofs & Gutter Systems**
- Timber roof structure in Royal Wattle only. Colour: SW.
  - Aluminium roof structure. Colour: SW.

- Other**
- Timber roof structure in Royal Wattle only. Colour: SW.
  - Aluminium roof structure. Colour: SW.

Item	Description	Quantity	Unit	Value
1	Roofing	100	m <sup>2</sup>	100.00
2	Roofing	200	m <sup>2</sup>	200.00
3	Roofing	300	m <sup>2</sup>	300.00
4	Roofing	400	m <sup>2</sup>	400.00
5	Roofing	500	m <sup>2</sup>	500.00
6	Roofing	600	m <sup>2</sup>	600.00
7	Roofing	700	m <sup>2</sup>	700.00
8	Roofing	800	m <sup>2</sup>	800.00
9	Roofing	900	m <sup>2</sup>	900.00
10	Roofing	1000	m <sup>2</sup>	1000.00

**FOR APPROVAL**

**pentan architects**

100 Pentan Road  
L2000 - CHS Hill  
T: 080 000 00 00  
info@pentan.co.nz

Project: [Project Name]  
Client: [Client Name]  
Date: [Date]  
Drawing No: [Drawing No]





**Building 2 Elevation A**  
1/200



**Building 2 Elevation B**  
1/200



**Building 2 Elevation C**  
1/200



**Building 2 Elevation D**  
1/200



- Notes**
- Single-unit residential type (URTC) in exterior wall with finished inside and exterior finish.
  - Single-unit residential type (URTC) in exterior wall with finished inside and exterior finish.
  - Single-unit residential type (URTC) in exterior wall with finished inside and exterior finish.
  - Single-unit residential type (URTC) in exterior wall with finished inside and exterior finish.
  - Single-unit residential type (URTC) in exterior wall with finished inside and exterior finish.
  - Single-unit residential type (URTC) in exterior wall with finished inside and exterior finish.
  - Single-unit residential type (URTC) in exterior wall with finished inside and exterior finish.
  - Single-unit residential type (URTC) in exterior wall with finished inside and exterior finish.
  - Single-unit residential type (URTC) in exterior wall with finished inside and exterior finish.
  - Single-unit residential type (URTC) in exterior wall with finished inside and exterior finish.

**Materials and Finish**

**Windows**  
 Triple windows (URTC) with color TBC  
 With weatherstripping (URTC) TBC  
 Commercial style hardware

**Interior Doors**  
 Single-unit residential (URTC) with color TBC  
 With weatherstripping (URTC) TBC  
 With weatherstripping (URTC) TBC  
 With weatherstripping (URTC) TBC

**Roofs**

**Roof Deck**  
 Single-unit residential (URTC) with color TBC  
 With weatherstripping (URTC) TBC  
 With weatherstripping (URTC) TBC  
 With weatherstripping (URTC) TBC

**Roofing**

Single-unit residential (URTC) TBC

**Exterior Walls**

Color-coordinated (URTC) with color TBC  
 With weatherstripping (URTC) TBC  
 With weatherstripping (URTC) TBC  
 With weatherstripping (URTC) TBC

**Porches & Decking**

URTC with color TBC

**Other**

Single-unit residential (URTC) with color TBC  
 With weatherstripping (URTC) TBC  
 With weatherstripping (URTC) TBC

Item	Description	Unit	Quantity	Unit Price	Total Price
1	Single-unit residential (URTC) with color TBC	Sq. Ft.	10,000	10.00	100,000.00
2	Single-unit residential (URTC) with color TBC	Sq. Ft.	10,000	10.00	100,000.00
3	Single-unit residential (URTC) with color TBC	Sq. Ft.	10,000	10.00	100,000.00
4	Single-unit residential (URTC) with color TBC	Sq. Ft.	10,000	10.00	100,000.00
5	Single-unit residential (URTC) with color TBC	Sq. Ft.	10,000	10.00	100,000.00
6	Single-unit residential (URTC) with color TBC	Sq. Ft.	10,000	10.00	100,000.00
7	Single-unit residential (URTC) with color TBC	Sq. Ft.	10,000	10.00	100,000.00
8	Single-unit residential (URTC) with color TBC	Sq. Ft.	10,000	10.00	100,000.00
9	Single-unit residential (URTC) with color TBC	Sq. Ft.	10,000	10.00	100,000.00
10	Single-unit residential (URTC) with color TBC	Sq. Ft.	10,000	10.00	100,000.00

**FOR APPROVAL**

**pentan** ARCHITECTS  
 33 Columbia Road  
 Seattle, WA 98102  
 Tel: 206.461.1111  
 www.pentanarchitects.com

Project: [Project Name]  
 Date: [Date]

Building 2 Elevations

Scale: 1/200  
 Date: [Date]

Architect: [Architect Name]  
 Date: [Date]



**Building 3 Elevation A**



**Building 3 Elevation B**



**Building 3 Elevation C**



**Building 3 Elevation D**



- Notes**
- 1. Building 3 shall be constructed in accordance with the City of Phoenix Building Code.
  - 2. Building 3 shall be constructed in accordance with the City of Phoenix Building Code.
  - 3. Building 3 shall be constructed in accordance with the City of Phoenix Building Code.
  - 4. Building 3 shall be constructed in accordance with the City of Phoenix Building Code.
  - 5. Building 3 shall be constructed in accordance with the City of Phoenix Building Code.
  - 6. Building 3 shall be constructed in accordance with the City of Phoenix Building Code.
  - 7. Building 3 shall be constructed in accordance with the City of Phoenix Building Code.

**Materials and Finish**

Exterior Wall: Concrete Block (Phoenix City Code 100.01.01.01) with a minimum thickness of 8 inches.

Roof: Asphalt/Flt Shingles with 1/2 inch Gypsum Board (Phoenix City Code 100.01.01.02) with a minimum thickness of 5/8 inch.

Windows: Aluminum Windows with a minimum thickness of 1/2 inch (Phoenix City Code 100.01.01.03).

**Other**

Interior Wall: Gypsum Board (Phoenix City Code 100.01.01.04) with a minimum thickness of 5/8 inch.

Floor: Concrete Slab (Phoenix City Code 100.01.01.05) with a minimum thickness of 4 inches.

Foundation: Concrete Foundation (Phoenix City Code 100.01.01.06) with a minimum thickness of 12 inches.

**Notes & Comments**

1. Building 3 shall be constructed in accordance with the City of Phoenix Building Code.

2. Building 3 shall be constructed in accordance with the City of Phoenix Building Code.

Item	Description	Quantity	Unit	Price	Total
1	Concrete Block	1000	sq ft	10.00	10000.00
2	Asphalt/Flt Shingles	1000	sq ft	10.00	10000.00
3	Gypsum Board	1000	sq ft	10.00	10000.00
4	Aluminum Windows	1000	sq ft	10.00	10000.00
5	Concrete Slab	1000	sq ft	10.00	10000.00
6	Concrete Foundation	1000	sq ft	10.00	10000.00

**FOR APPROVAL**

**pentan architects**

20 Columbia Road  
Columbiana, OH 43085  
L. 614.884.8884  
info@pentan.com

Project: Building 3 Elevations

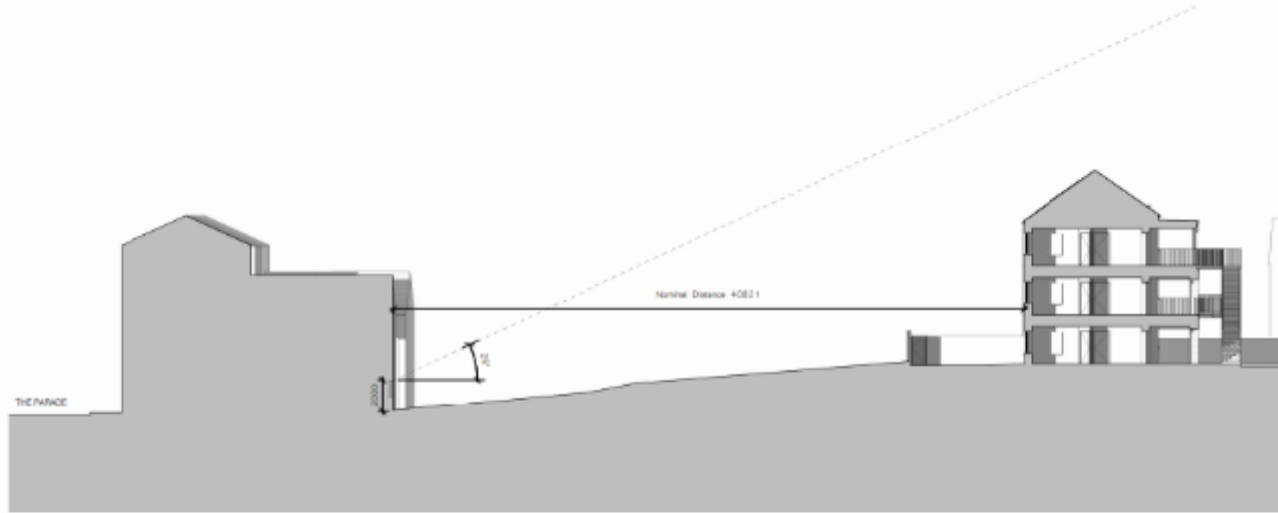
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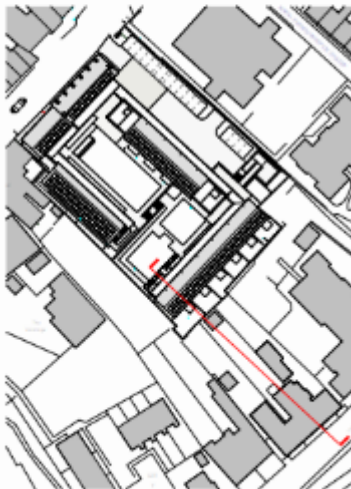
Sheet: 03/23







Section Through 7 The Parade  
1:200



Section Location  
1:500

- Notes**
1. Drawings must not be scaled and any discrepancies must be reported immediately.
  2. The drawing is to be read in conjunction with all other relevant project drawings and schedules.
  3. Dimensions indicated are structural.
  4. Drawing must be printed in colour to ensure all elements are clearly identified.

02	Confirmed amended - issued for approval	WJC	DT	08.11.20
01	Issued for approval	WJC	DT	08.11.20
Rev	Description	Drawn	Checked	Date

**FOR APPROVAL**

**pentan**  
architects

22 Cathedral Road  
Cardiff CF11 9LJ  
T: 029 2052 9810  
info@pentan.co.uk

Project  
Priory Street, Cardiff

Client  
WVVA

Drawing No.

Section Through No. 7 The Parade

Rev	By	Date	Level	Type	Rev	Description	Status	Rev
0005	PEN	ZZ	DR	A	3010	S4	P0	

Scale  
As indicated @ A2  
Date  
Nov 20

**NOTES:** Do not scale. All dimensions are in millimetres unless stated otherwise.

PL/03279





PL/03279



PL/03279





PL/03279





PL/03279





PL/03279







PL/03279



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architects





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pentan  
concept



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pentan  
architects

# PL/04799

John L J Thomas

**Lle a Chynaliadwyedd - Y Gwasanaethau Cynllunio**  
**Place and Sustainability - Planning Services**

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**Carmarthenshire**  
County Council









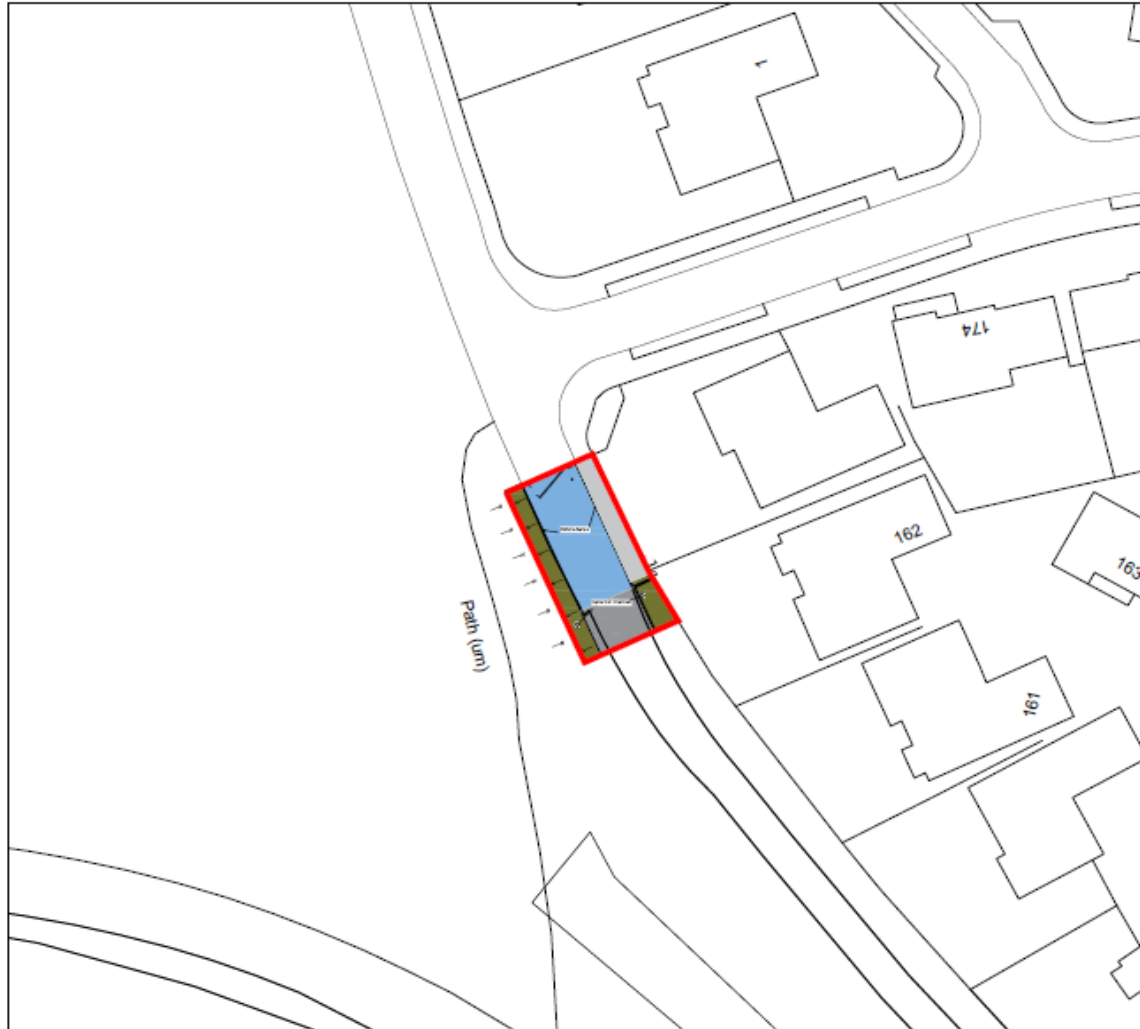
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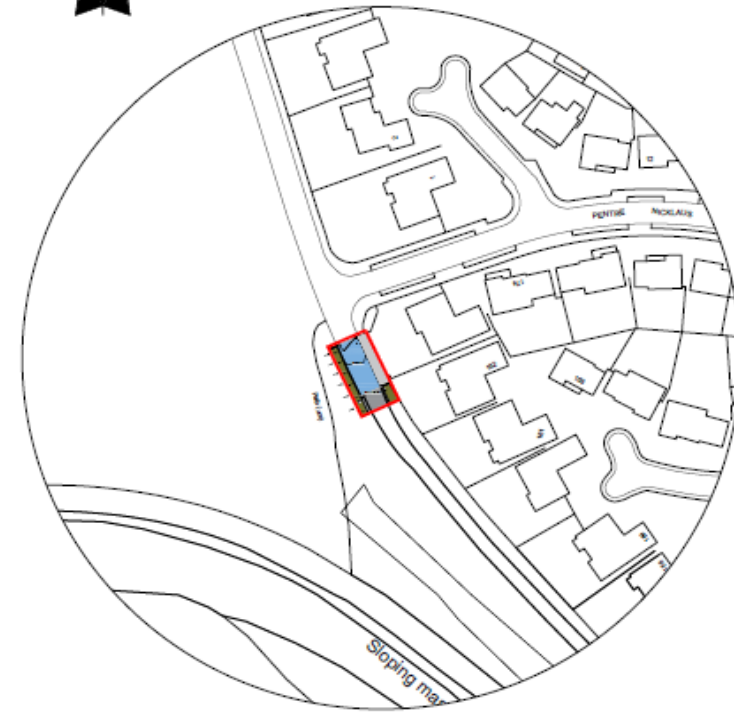




**SITE PLAN 1:500**



A	1:500 zoned site	20/1/2022	rd
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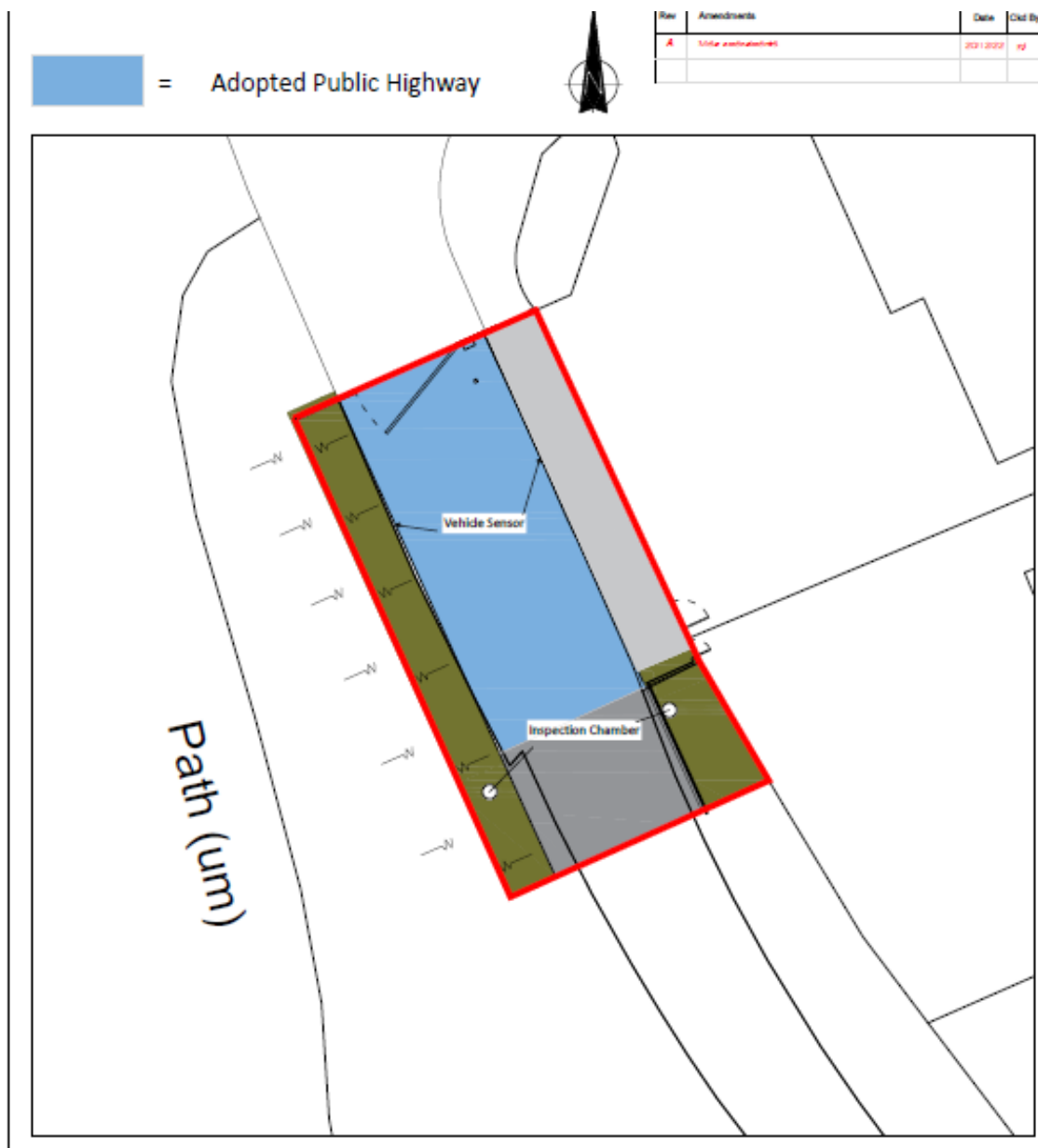
**LOCATION PLAN 1:1250**

Map reference

SS 5098

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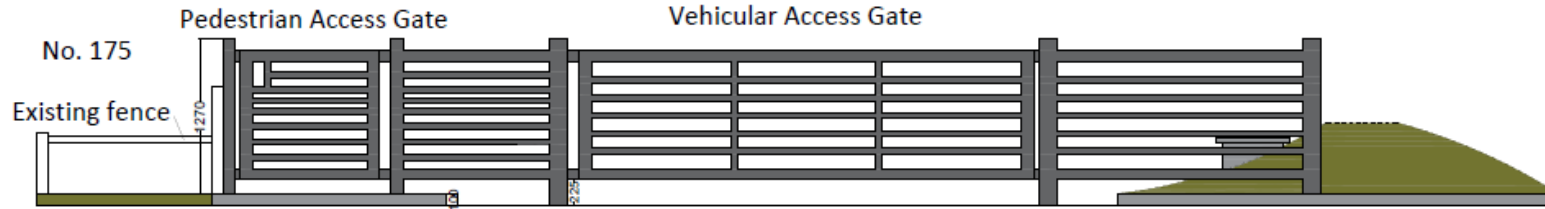




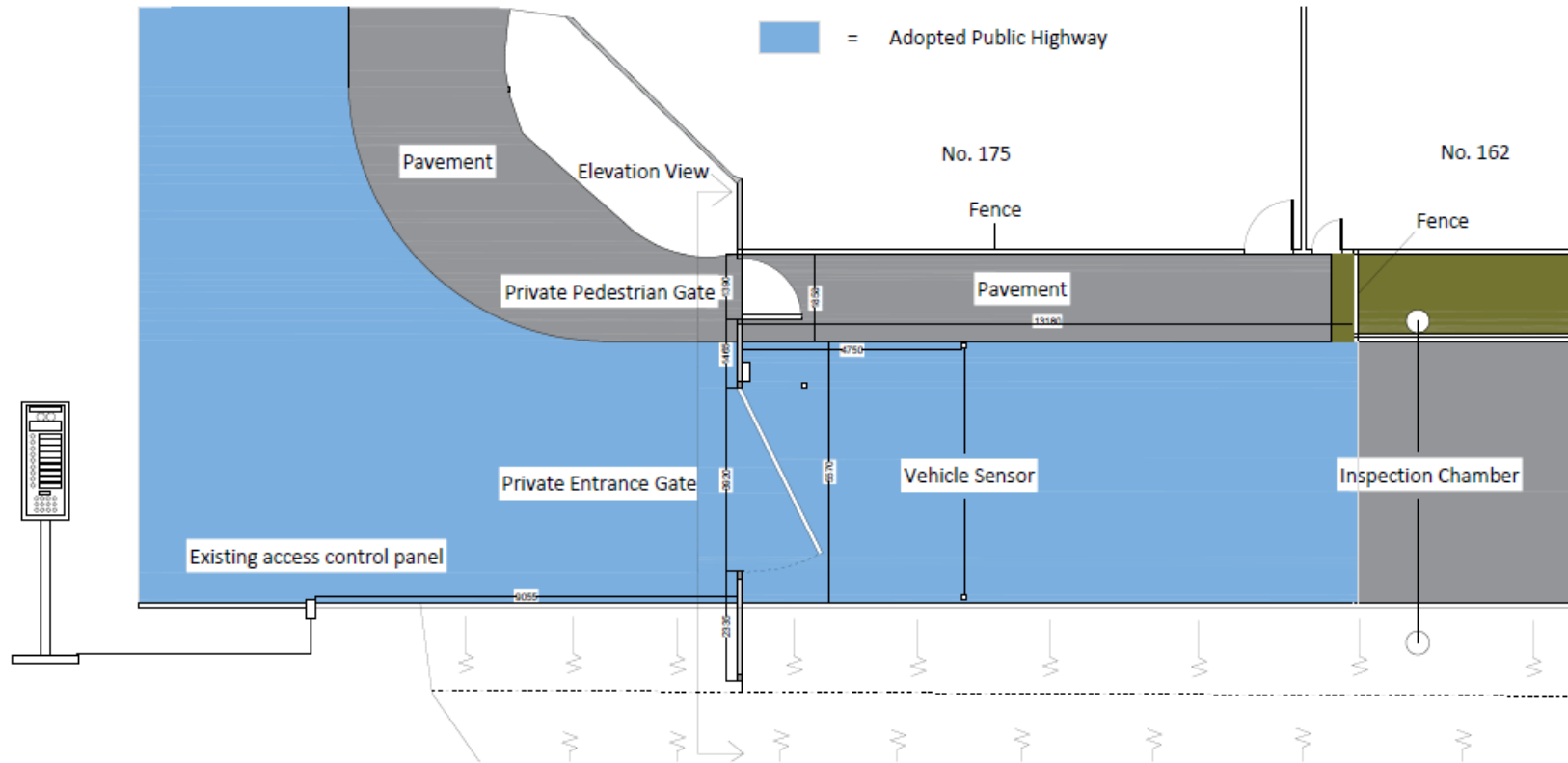




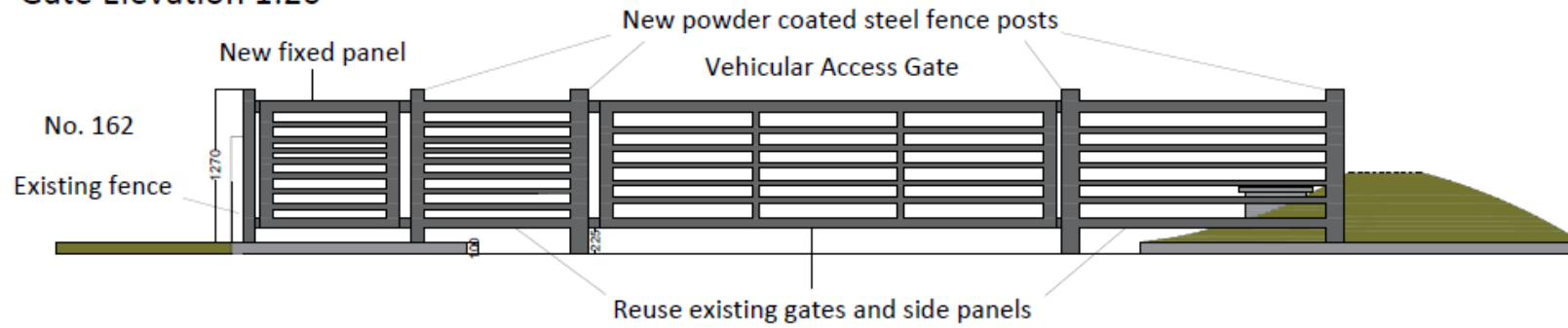
## Gate Elevation 1:20



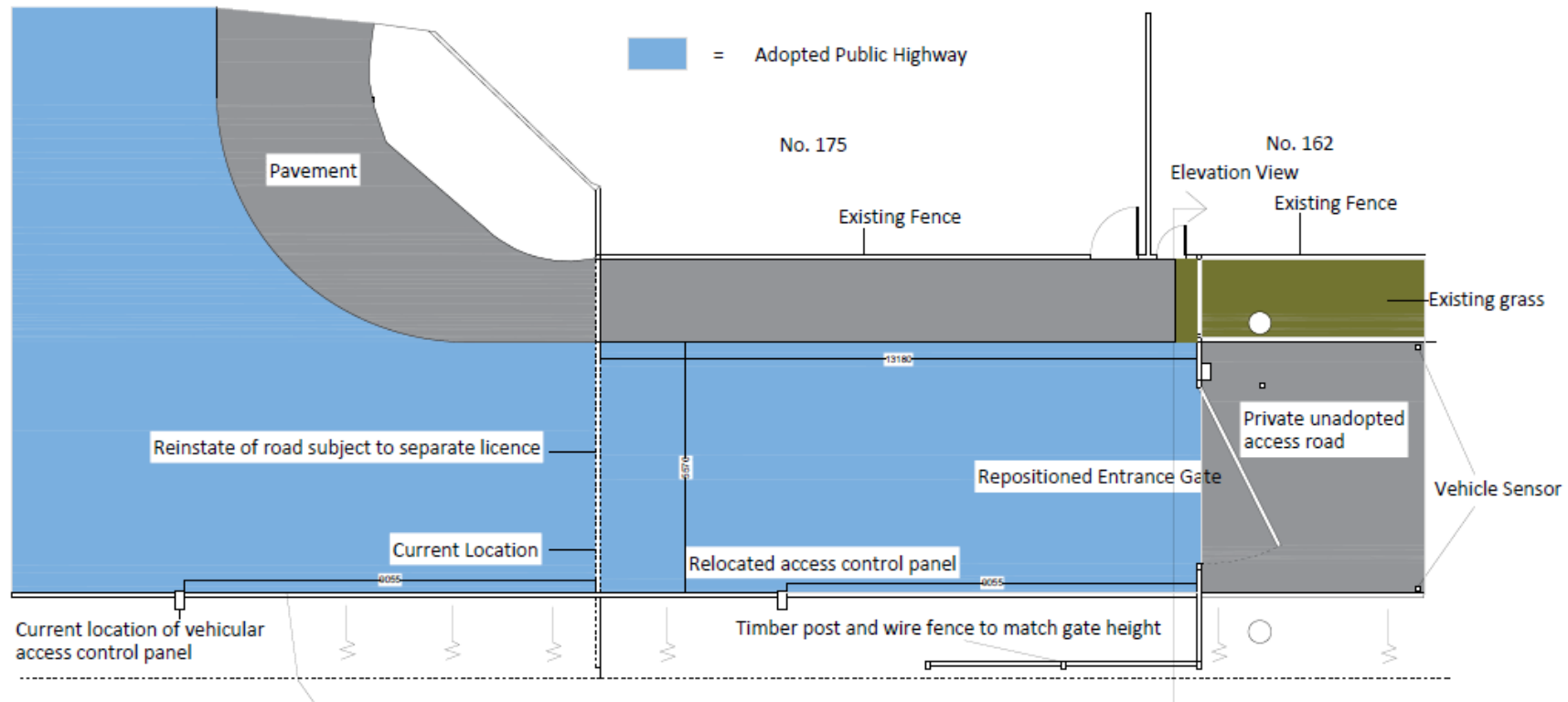
## Floor Plan 1:50



## Gate Elevation 1:20



## Floor Plan 1:50







PL/04799





PL/04799







PL/04799



PL/04799





PL/04799



PL/04799





PL/04799







PL/04799



# PL/06289

Hugh Towns

**Lle a Chynaliadwyedd - Y Gwasanaethau Cynllunio**  
**Place and Sustainability - Planning Services**

Lle a Seilwaith | Place and Infrastructure

Cyngor **Sir Gâr**  
**Carmarthenshire**  
County Council





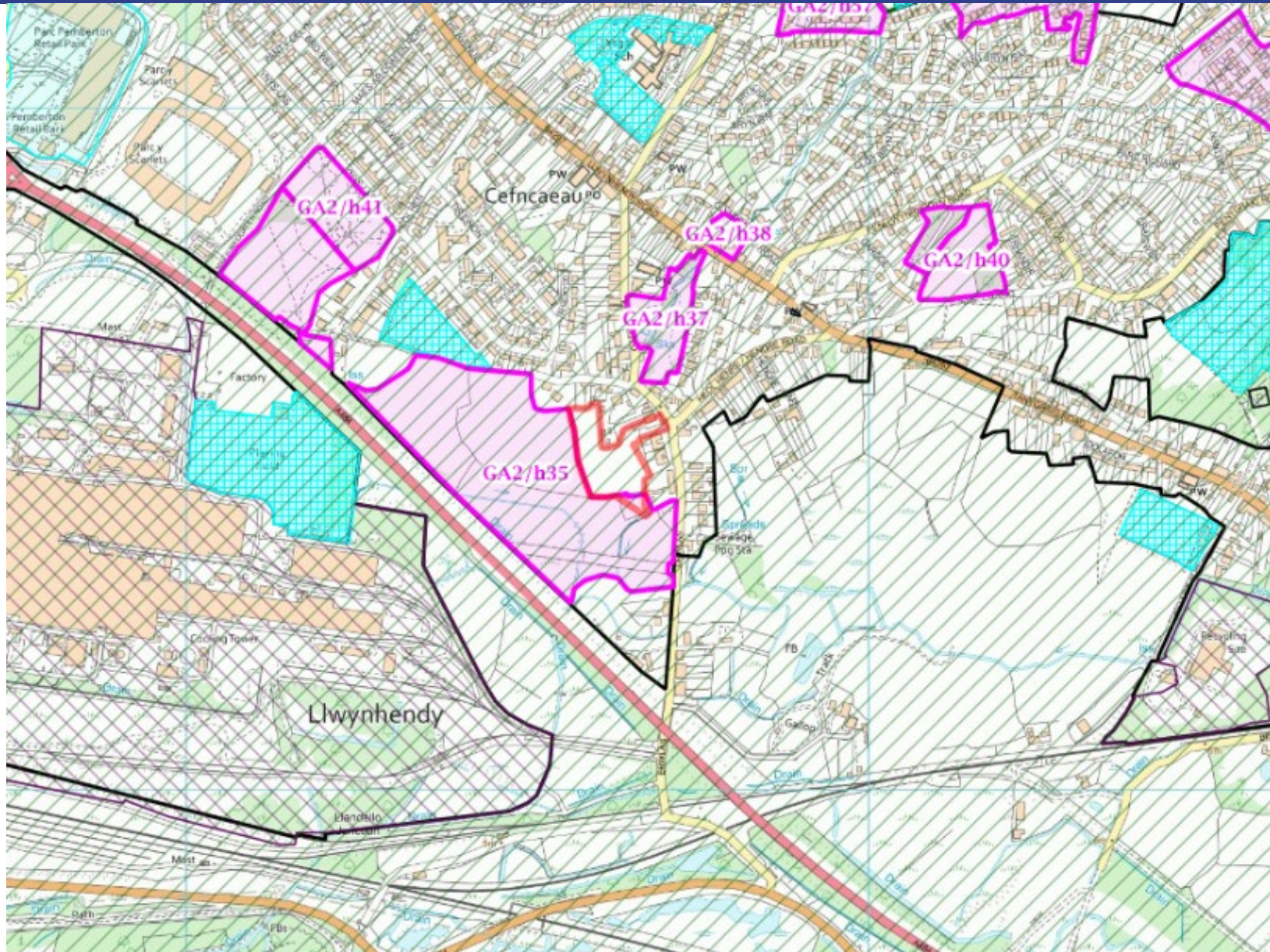




PL/06289









- SITE KEY**
- Boundary Treatments**
- Site Boundary
  - 1.8m High screen wall
  - 1.8m High close board timber fence
  - 1.8m High close board personnel gate
  - 1.5m High hi & miss timber fence
  - 0.45m High Timber Knee Rail
- Access Points**
- Primary door to dwelling (max 10)
  - Secondary door(s) to dwelling
  - Garage door
  - Parking Space
- Hard Surfacing**
- Highway - Tarmacadam Finish
  - Highway Footpath - Tarmacadam Finish
  - Private Driveway - Tarmacadam Finish
  - Private Footpath - PCC slabs
  - Patio Area - PCC slabs
  - Refuse collection point - PCC slabs (for plots reserved off street private drive)
  - Existing Property Driveway
- Soft Surfacing**
- Front Garden
  - Formal Rear Garden
  - Informal Rear Garden
  - Amenity Space / Green Infrastructure / POS
  - Bio-retention System Feature / Attenuation System
  - Area for Surface Water Outfall
- Site Features**
- Proposed Tree Location
  - Existing Tree Location
  - Existing Tree To Be Removed
  - Affordable Unit - Social Rented
  - Shed Storage
  - Bin Slab Location (Locations to be agreed)
  - Rotary Line
  - Existing Water Easement
  - Existing Sewer Easement



Accommodation Schedule					
House Name	Code	Bed s	(NIA) ft <sup>2</sup>	No of Units	Total Area
<b>Open Market Units</b>					
Penrhos	PEN	4	1472	3	4416
Cennen	CEN	4	1545	3	4635
Oxwich	OXW	4	1614	1	1614
Caernarfon	CAE	4	1943	3	5829
<b>Sub Total</b>			<b>10</b>		<b>16494</b>
<b>Affordable Units</b>					
2 Bed WDQR	4P2B	2	854	2	1708
<b>Sub Total</b>			<b>2</b>		<b>18202</b>
<b>Total</b>			<b>12</b>		<b>16494</b>

- 5 Surface water ditch added to the south of the site. Plot 1, 25.10.23 new boundary treatments revised to 1.5m hi & miss fence.
- 4 Plot 1 type change. DCWW easement note added. 07.07.23
- 3 Further rear garden amendments to Plots 2 & 3. Revised 28.06.23. Incorporate new. Update tree symbols. Plot 11. Amend layout levels to accommodate the new RPA.
- 2 Rear garden amendments to Plots 2 & 3. Informal rear garden hatch added. Plot 11. Revised 22.06.23
- 1 HT footprints updated. Red line boundary amendments. 26.04.23

REV. | DATE

CLIENT  
Morganstone

JOB TITLE  
Parc Gitto, Llanelli.

DRAWING TITLE  
Planning Layout

SCALE @ A2 | DATE | DRAWN BY  
1:500 | April '23 | KE

JOB NO. | DRAWING NO. | REVISION  
2017 | PL-01 | 5

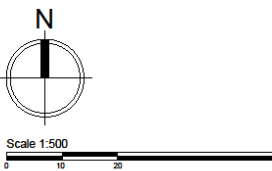
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e. info@hammond-ltd.co.uk

www.hammond-ltd.co.uk

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Figured dimensions must be taken in preference to scaled dimensions and any discrepancies are to be referred to Hammond Architectural Ltd. Contractors, subcontractors and suppliers must verify all dimensions on site before commencing any work or making any workshop drawings.



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# PL/06289 – Caernarfon – Plots 1, 3 & 9



**FRONT**  
1:100



**SIDE**  
1:100



**REAR**  
1:100

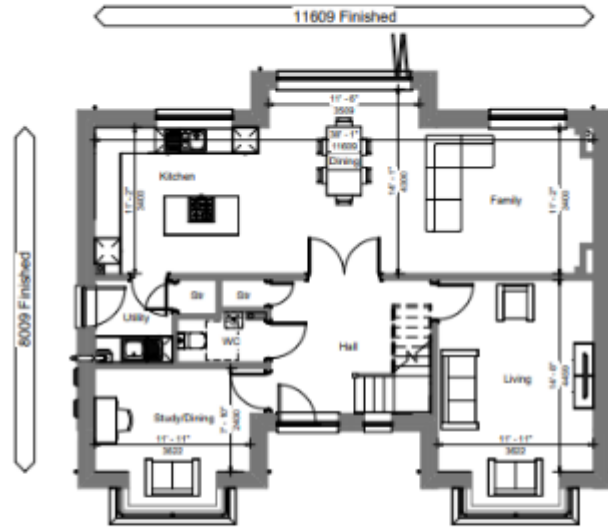


**SIDE.**  
1:100

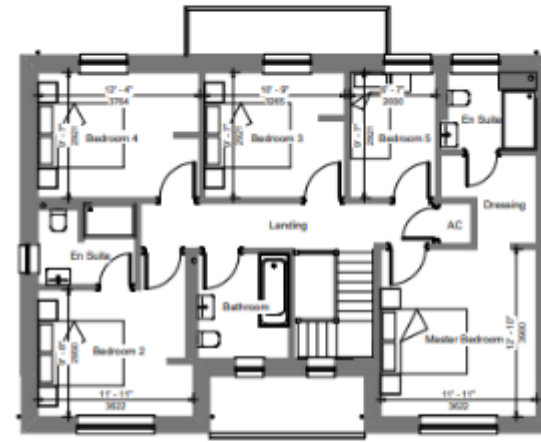
GIA Floor Area = 180.5 m<sup>2</sup> 1943.4 ft<sup>2</sup>



# PL/06289 - Caernarfon



**GROUND FLOOR**  
1:100



**FIRST FLOOR**  
1:100

GIA Floor Area = 180.5 m<sup>2</sup> 1943.4 ft<sup>2</sup>





# PL/06289 – Penrhos – Plots 2, 6 & 8



**FRONT**  
1:100



**SIDE**  
1:100



**REAR**  
1:100

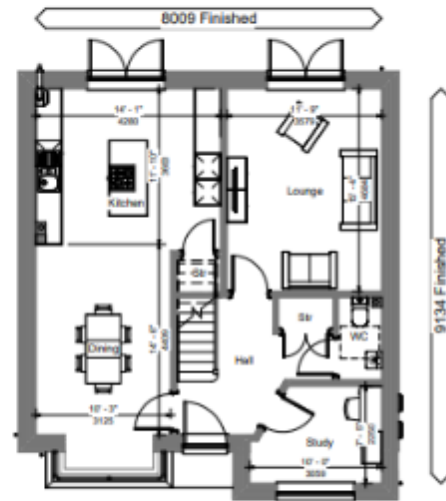


**SIDE.**  
1:100

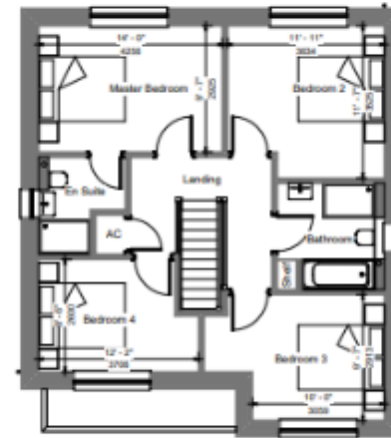
GIA Floor Area = 136.8 m<sup>2</sup> 1472.3 ft<sup>2</sup>



# PL/06289 - Penrhos



**GROUND FLOOR**  
1:100



**FIRST FLOOR**  
1:100

GIA Floor Area = 136.8 m<sup>2</sup> 1472.3 ft<sup>2</sup>





# PL/06289 – Cennen – Plots 4, 5 & 7



**FRONT**  
1:100



**SIDE**  
1:100



**REAR**  
1:100

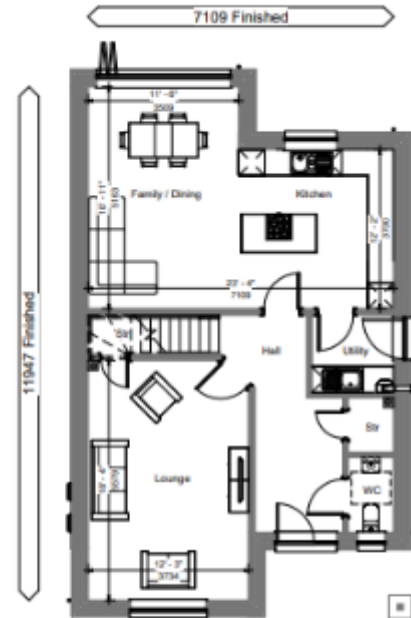


**SIDE.**  
1:100

**GIA Floor Area = 143.6 m<sup>2</sup> 1545.3 ft<sup>2</sup>**

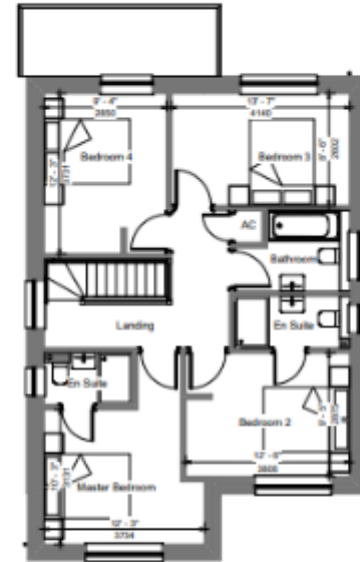


# PL/06289 - Cennen



**GROUND FLOOR**

1 : 100



**FIRST FLOOR**

1 : 100

**GIA Floor Area = 143.6 m<sup>2</sup> 1545.3 ft<sup>2</sup>**



Rev. Description



# PL/06289 – Oxwich – Plot 10



**FRONT**  
1:100



**SIDE**  
1:100



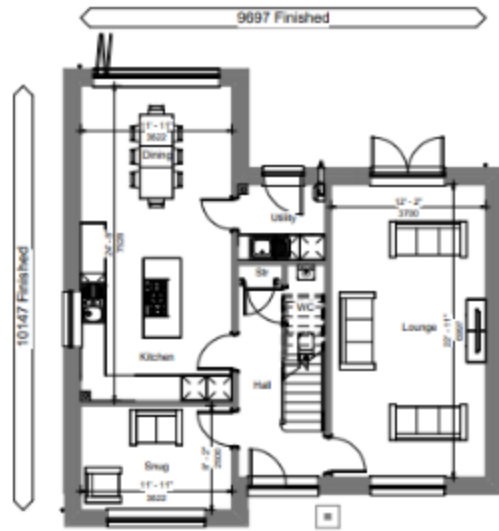
**REAR**  
1:100



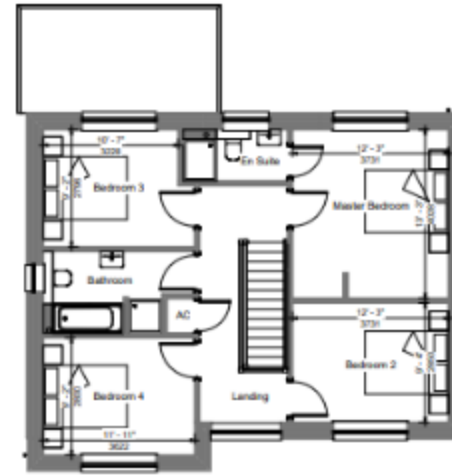
**SIDE.**  
1:100

**GIA Floor Area = 149.9 m<sup>2</sup> 1614.0 ft<sup>2</sup>**





**GROUND FLOOR**  
1 : 100



**FIRST FLOOR**  
1 : 100

GIA Floor Area = 149.9 m<sup>2</sup> 1614.0 ft<sup>2</sup>





# PL/06289 – Affordable Dwellings – Plots 11 & 12



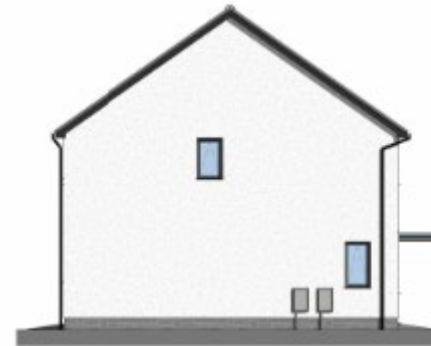
**FRONT**  
1:100



**SIDE**  
1:100



**REAR**  
1:100

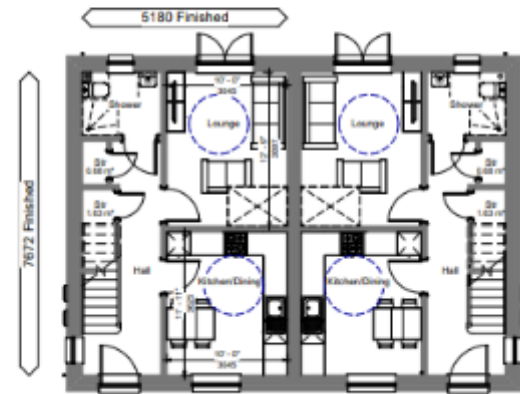


**SIDE.**  
1:100

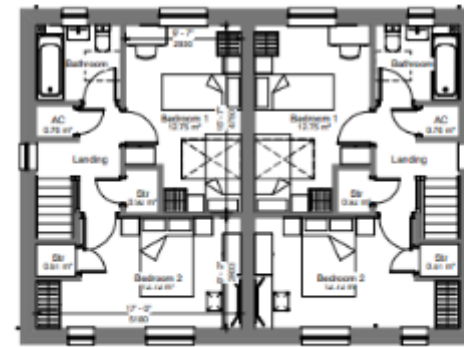
**GIA Floor Area = 79.3 m<sup>2</sup> 853.8 ft<sup>2</sup>**



# PL/06289 – Affordable Dwellings



**GROUND FLOOR**  
1:100



**FIRST FLOOR**  
1:100

**GIA Floor Area = 79.3 m<sup>2</sup> 853.8 ft<sup>2</sup>**

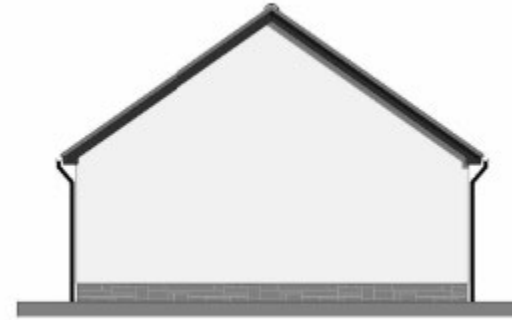




# PL/06289 – Double Garage



**FRONT**  
1 : 100



**SIDE L**  
1 : 100



**REAR**  
1 : 100



**SIDE R**  
1 : 100

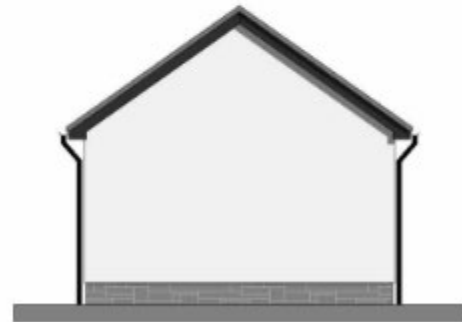
# PL/06289 – Oversize Single Garage – 6.875m x 4.065m



**FRONT**  
1 : 100



**SIDE L**  
1 : 100



**REAR**  
1 : 100



**SIDE R**  
1 : 100



# PL/06289 – Single Garage – 6.2m x 3.39m



**FRONT**  
1 : 100



**SIDE L**  
1 : 100



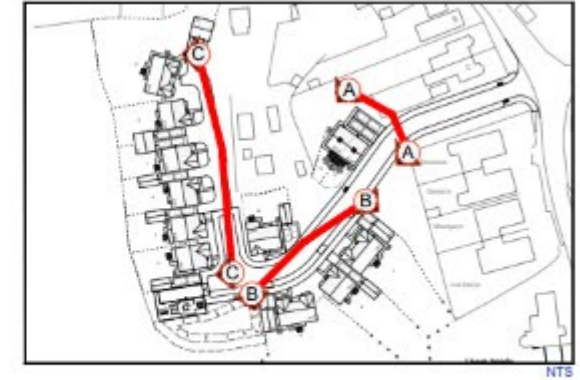
**REAR**  
1 : 100



**SIDE R**  
1 : 100

# PL/06289 – Street Scene A-A & B-B

Street Scene A-A



Street Scene B-B





# PL/06289 – Street Scene C-C

Street Scene C-C

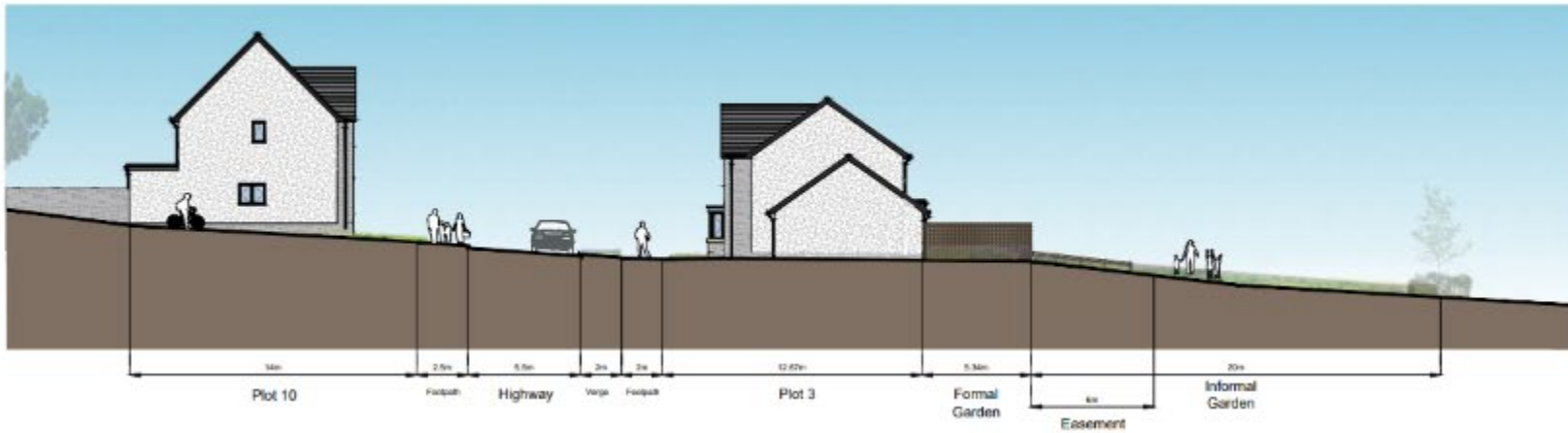


# PL/06289 – Site Section



NTS

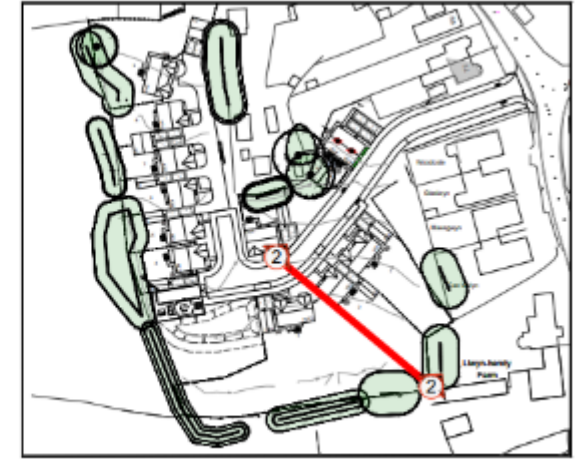
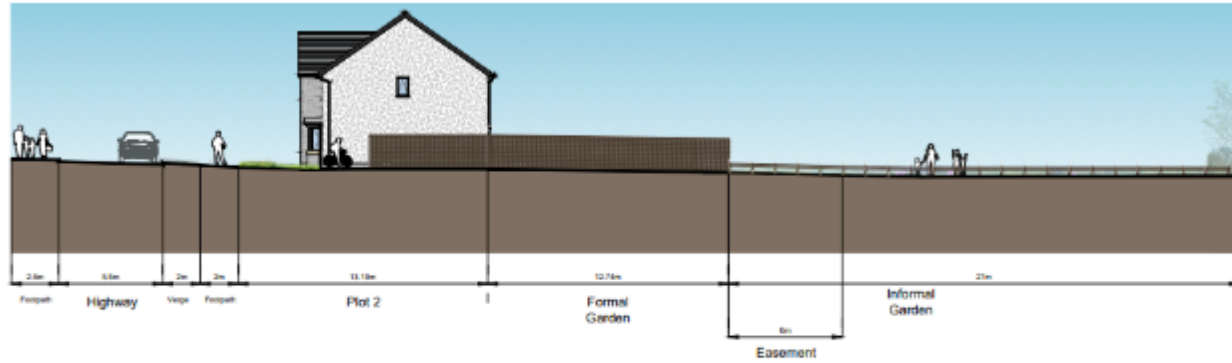
Site Section 1-1

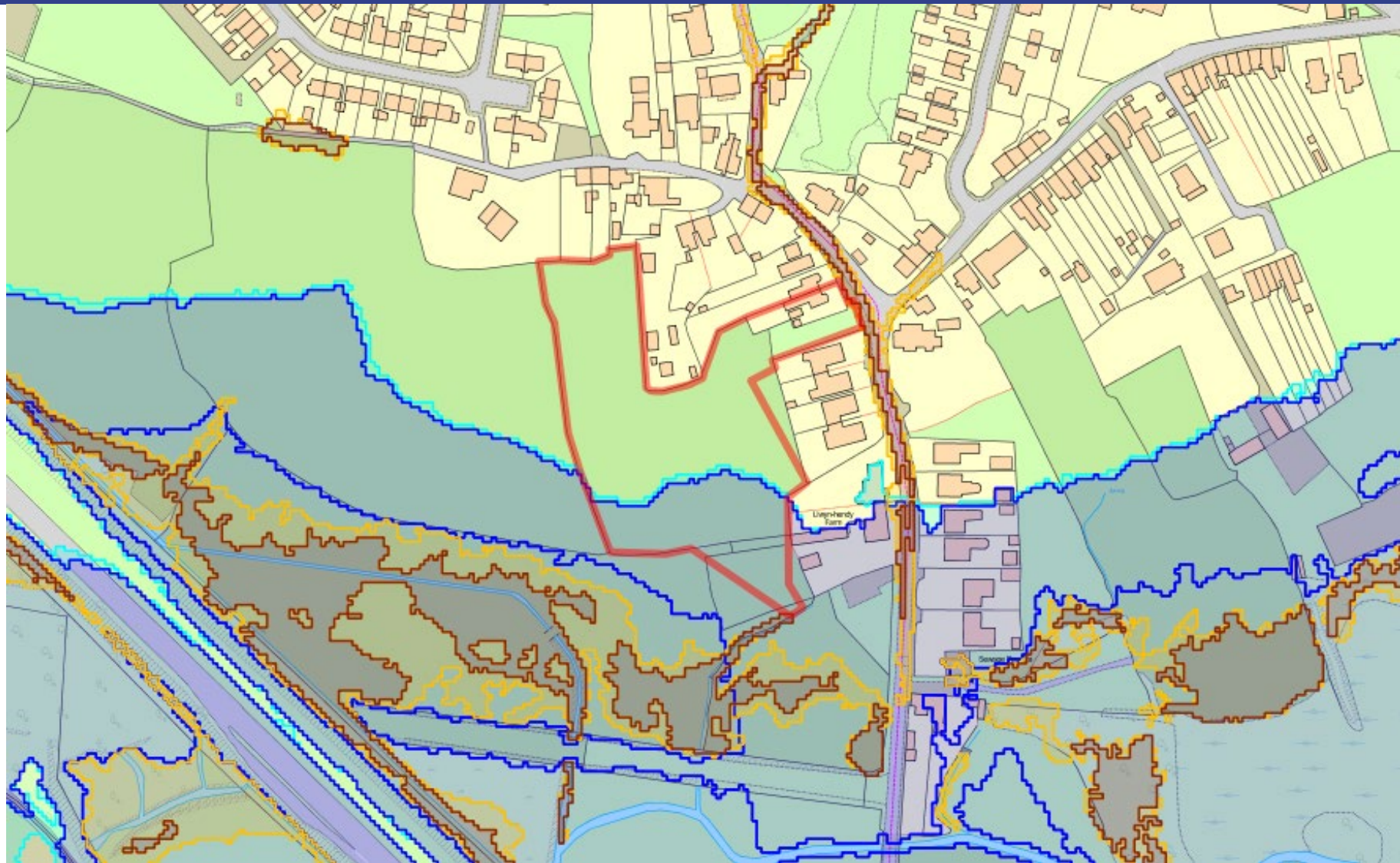




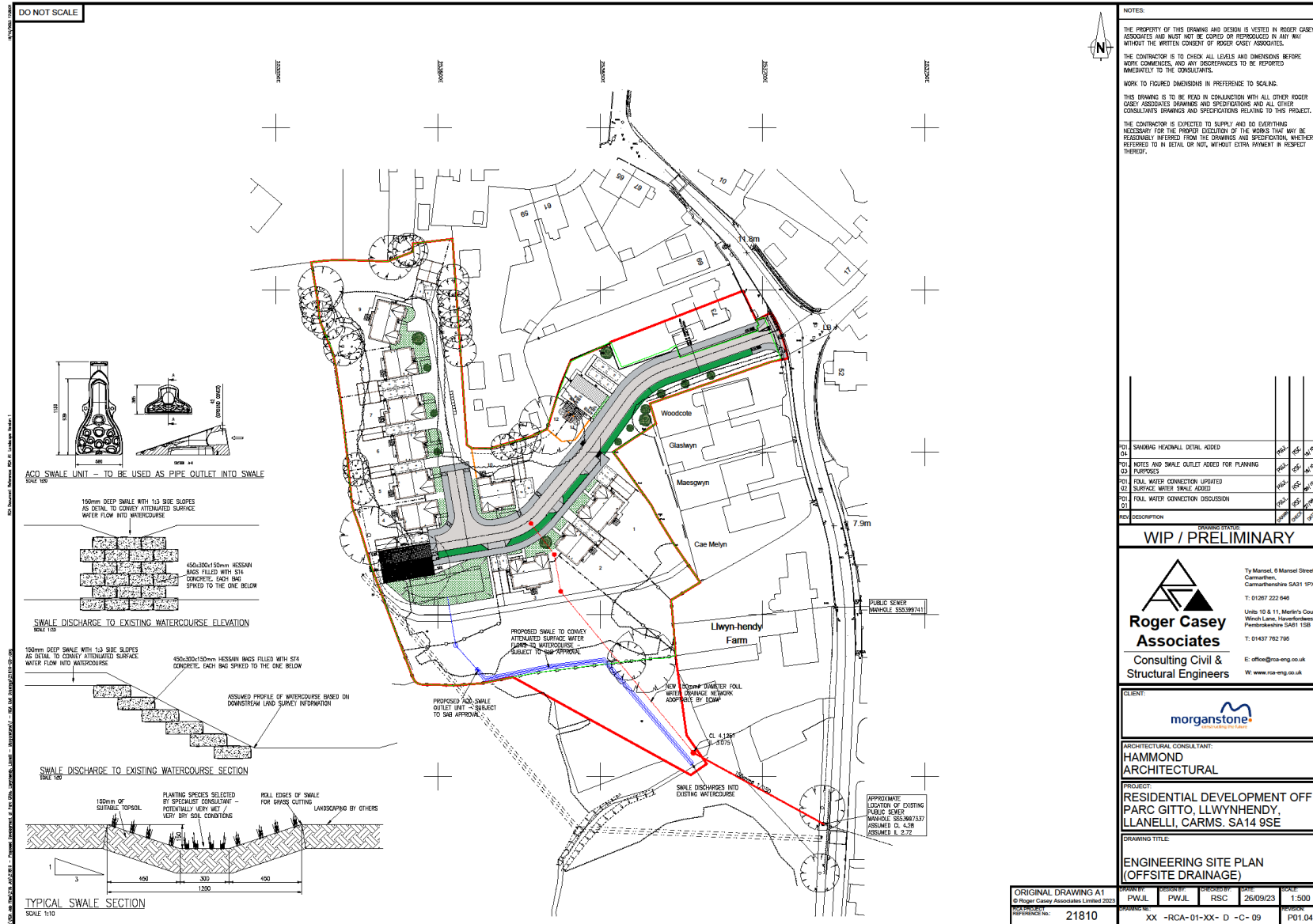
# PL/06289 – Site Section

Site Section 2-2









PL/06289





PL/06289













PL/06289





PL/06289



PL/06289





















**Ceisiadau yr argymhellir  
eu bod yn cael eu  
gwrthod**

**Applications  
recommended for  
refusal**

# PL/04027

Charlotte Greves

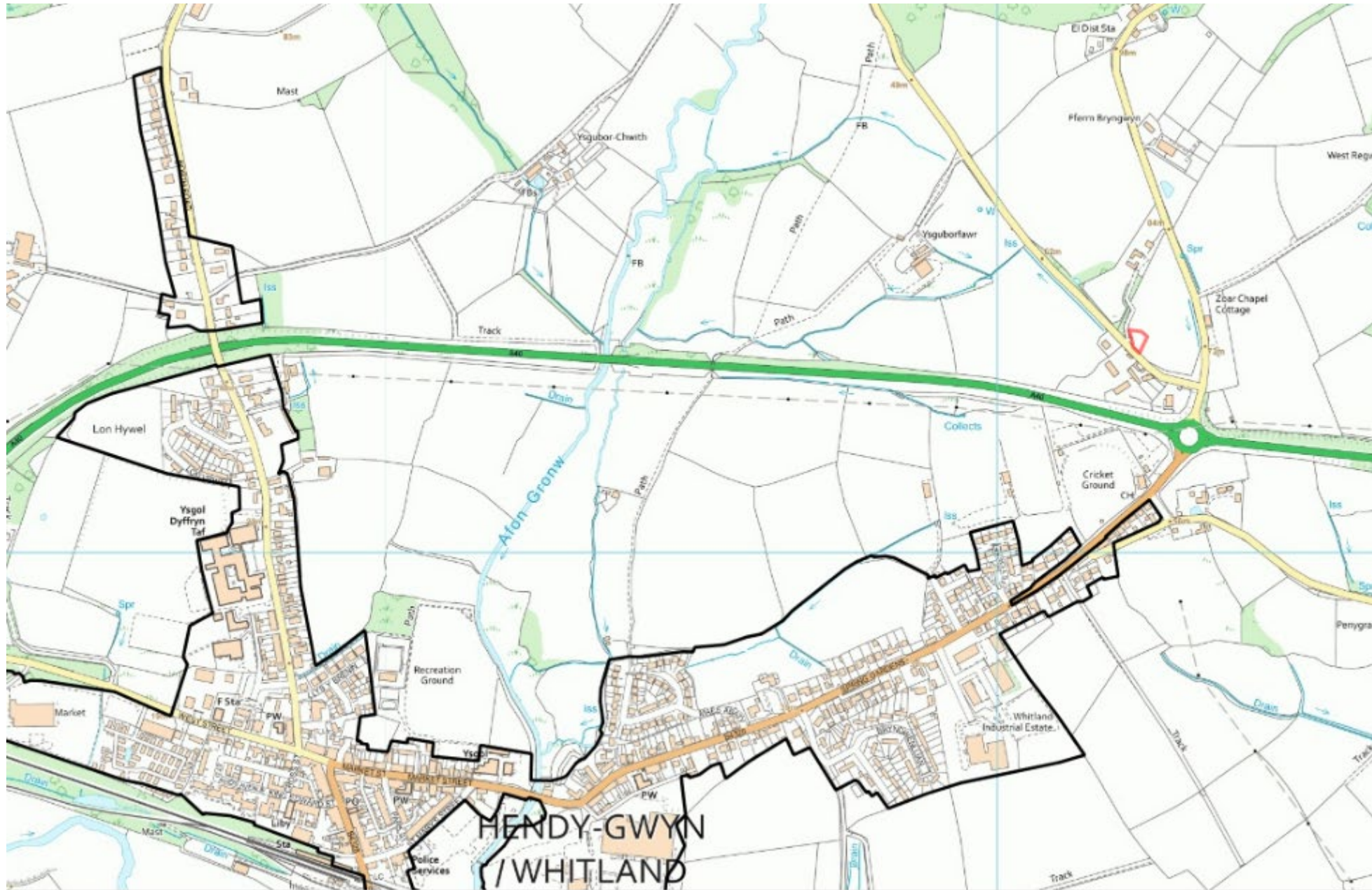
**Lle a Chynaliadwyedd - Y Gwasanaethau Cynllunio**  
**Place and Sustainability - Planning Services**

Lle a Seilwaith | Place and Infrastructure

Cyngor **Sir Gâr**  
**Carmarthenshire**  
County Council







PL/04027

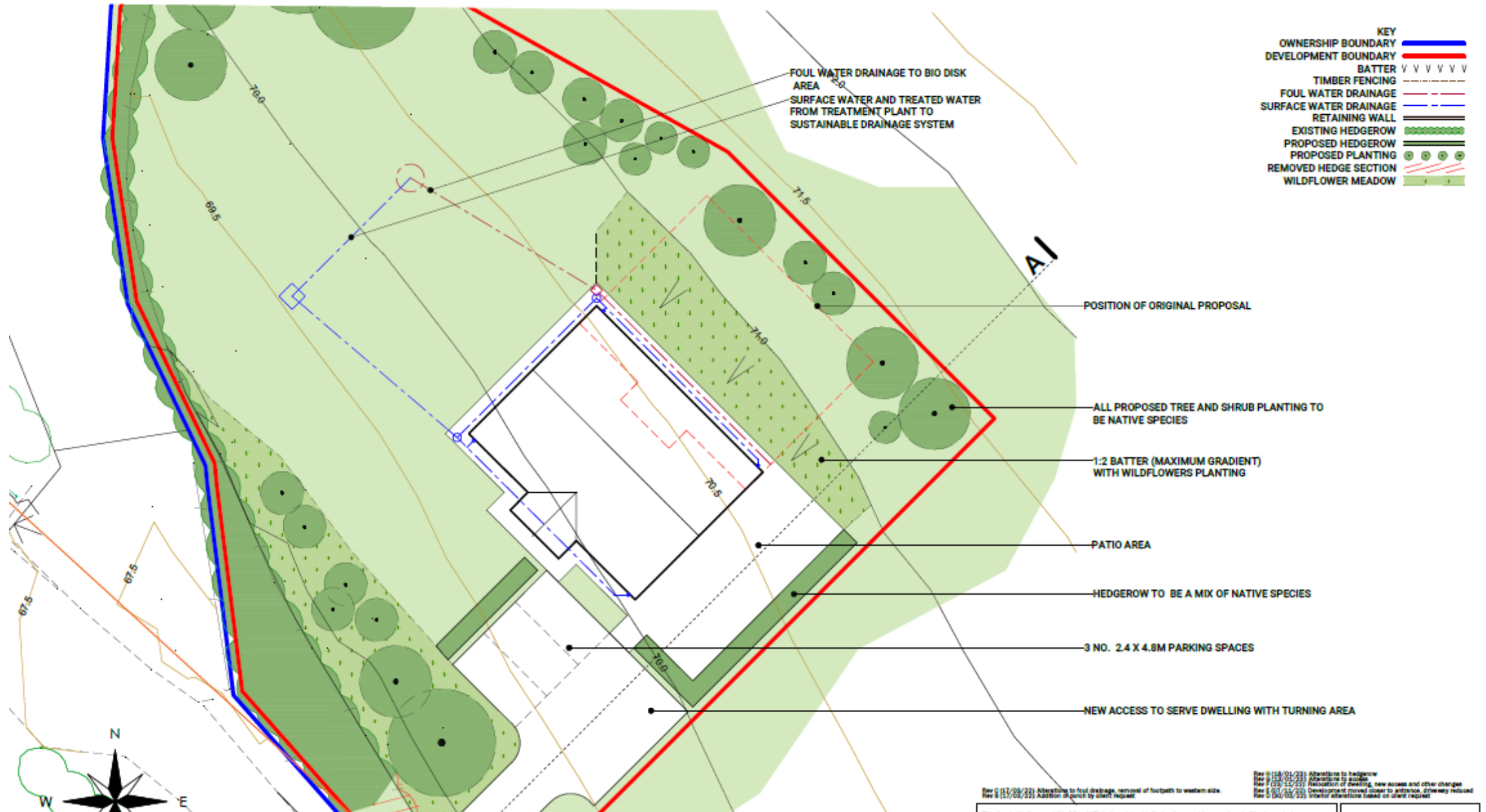




# PL/04027 Site Location and Block Plan

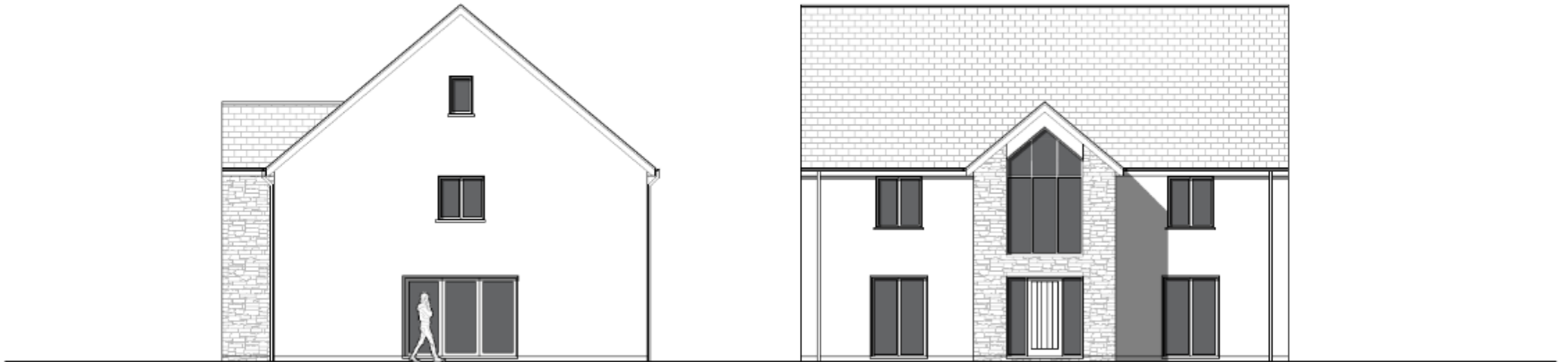


# PL/04027 Proposed plot layout





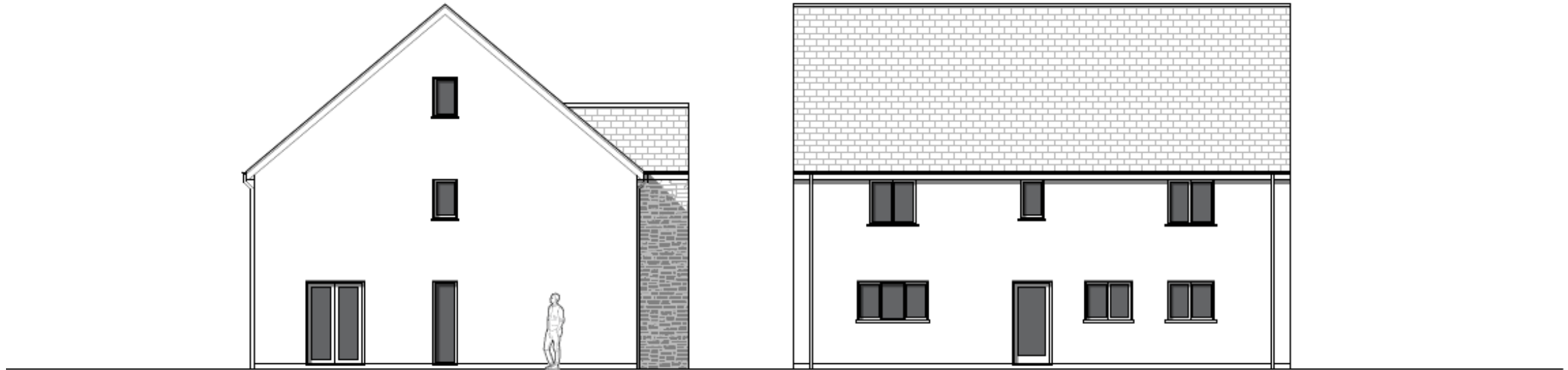
# PL/04027 Proposed elevation plans



**SIDE ELEVATION (SE)**  
@ 1/100

**FRONT ELEVATION (SW)**  
@ 1/100

# PL/04027 Proposed elevation plans



**SIDE ELEVATION (NW)**  
@ 1/100

**REAR ELEVATION (NE)**  
@ 1/100



# PL/04027 Proposed floor plans



**GROUND FLOOR PLAN**  
@ 1/100



**FIRST FLOOR PLAN**  
@ 1/100

# PL/04027 Proposed dwelling section



Rev B (17/03/22) Addition of porch by client request

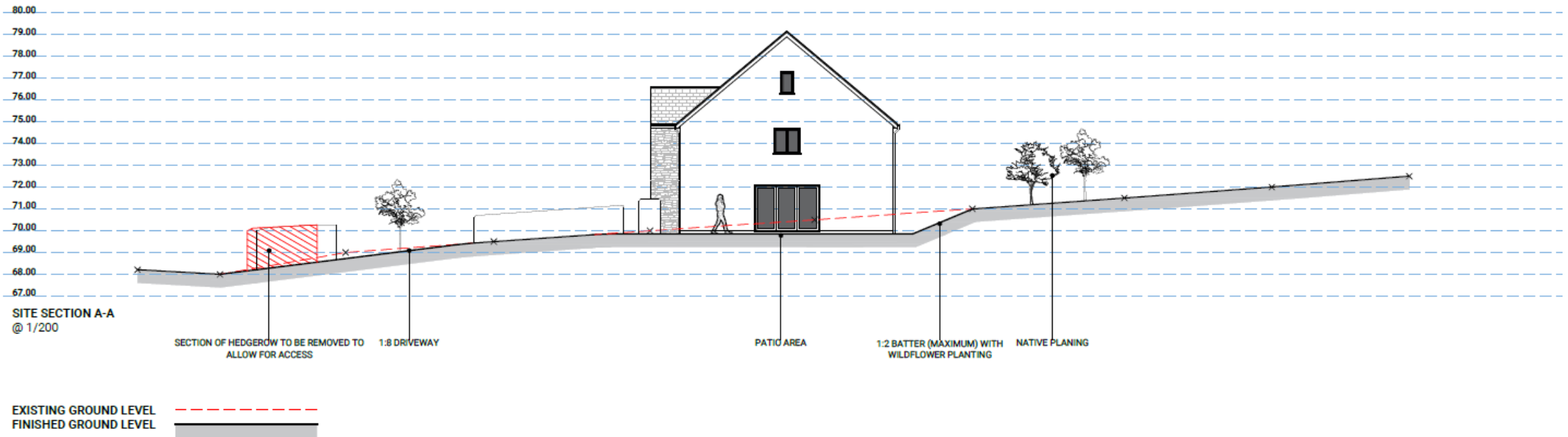
Rev D (30/03/22) Interior alterations based on client request

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# PL/04027 Proposed site section



PL/04027





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**Diolch | Thank you**

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**[carmarthenshire.gov.wales](http://carmarthenshire.gov.wales)**

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**Carmarthenshire**  
County Council

